



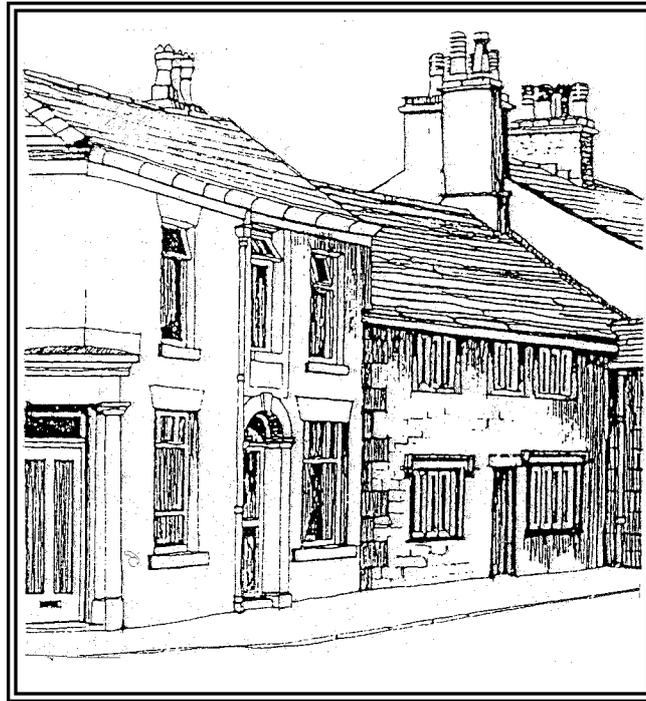
**BLACKBURN**  
*with*  
**DARWEN**  
BOROUGH COUNCIL

**SUPPLEMENTARY PLANNING GUIDANCE**

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# Conservation Areas

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**BLACKBURN WITH DARWEN  
BOROUGH LOCAL PLAN**

## **SUPPLEMENTARY PLANNING GUIDANCE**

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This is one of a series of supplementary planning guidance notes prepared by the Council to raise awareness of good design and to improve the quality of new development.

The following titles are available from the Council's Technical Services Department at Blackburn and Darwen Town Halls.

### **Residential and Other Related Uses**

1. New Residential Development
2. Extensions for Detached and Semi-detached Houses
3. Extensions for Terraced Houses
4. Community and Other Uses within Residential Areas
5. Residential Institutions

### **Conservation and Design**

6. Listed Buildings
7. Conservation Areas
8. Outdoor Advertisements and Signs
9. Shopfront Design and Security
10. Industrial and Warehousing Buildings

### **Rural Areas**

11. Agricultural Buildings
12. The Conversion of Buildings in the Countryside
13. Village Appraisals

### **Natural Environment**

14. Landscaping and Wildlife Habitat Creation
15. Species Protection

## CONSERVATION AREAS

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It is the duty of local authorities to designate as conservation areas any area of special architectural or historic interest, whose character and appearance it is worth preserving or enhancing.

Whilst it is important that buildings in conservation areas are of historic value, it is their group rather than individual value that is important, although many conservation areas do contain listed buildings. The character of an area does not come from its buildings alone. Conservation area designation recognises that a combination of factors such as the historic layout of roads and paths, characteristic building and paving materials, vistas, public and private spaces, green areas and trees all make up the character of a historic area.

The Borough has 14 designated conservation areas which vary in size from 25 to a couple of hundred buildings. They vary in character from the commercial areas of Blackburn and Darwen Town Centres, residential areas like Dukes Brow and Griffin to the moorland villages. They are as follows:

- Chapeltown
- Edgworth
- Hoddlesden
- Corporation Park
- Corporation Park No.2
- Griffin
- Dukes Brow/Revidge
- Richmond Terrace/St. John's
- Richmond Terrace extension
- Blackburn Cathedral
- Northgate
- King Street
- Darwen Street
- Darwen Town Centre

### **The effects of designation**

By designating conservation areas the Council's intention is not to stifle new development or that the areas should become static museum pieces. However, extra control is required to ensure that the special architectural or historic and visual qualities of the area are not eroded.

In conservation areas the normal requirements for planning permission and building regulation approval apply with some additional restrictions. Development next to a conservation area can affect its setting and character as much as development within. Thus, the requirements of Local Plan Policy HD11 cover development both within and adjacent to conservation areas. Proposals to alter buildings within a conservation area are covered by Policy HD12, whilst proposals to demolish all or part of an unlisted building in a conservation area should be in accordance with Policy HD14.

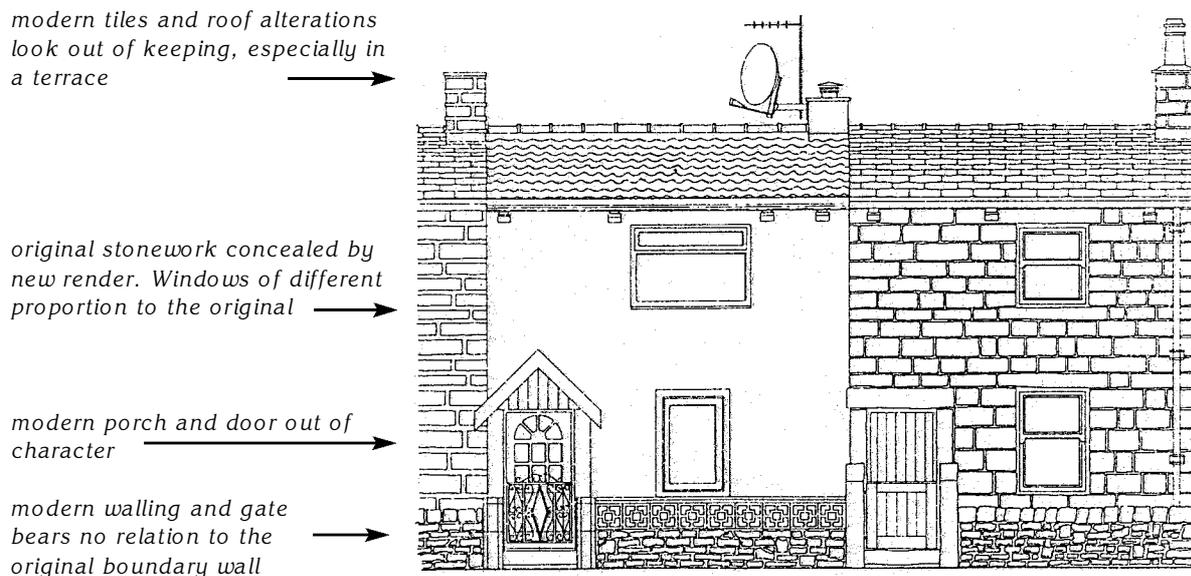
Permission or conservation area consent is required for the demolition or partial demolition of most buildings, chimney stacks and boundary walls. It is also necessary to give the Council six weeks notice to top, lop or fell a tree because of the contribution which trees can make to the special character of the conservation area.

## CONSERVATION AREAS

In addition, works which elsewhere are classified as permitted development also require consent:

- various types of cladding
- the insertion of dormer windows into roof slopes
- the erection of satellite dishes on walls, roofs or chimneys fronting a highway
- the installation of radio masts, antennae or radio equipment

Developers are advised to check with the Planning Service at an early stage on the need for any permissions. Unauthorised work can lead to prosecution and the Council may take enforcement action requiring the work to be “undone”.



*There are many buildings in Conservation Areas which are not individually listed as being of architectural or historic interest but which nevertheless have real character. Unsympathetic additions and improvements can destroy the original character.*

### **Making an application for Conservation Area Consent**

Applications are usually made in full and in order to properly assess the proposal the Council will require the following information:

- completed application form obtained from the Planning Service;
- location plan with the property shown edged red;
- plan views and/or external elevations to a suitable metric scale, both existing and proposed. The position and type of boundaries and trees should be shown and details of materials to be used; and
- where demolition of any building in a conservation area is being proposed, the Council will require the submission and approval of an acceptable redevelopment scheme.

## CONSERVATION AREAS

### Considerations

All development in conservation areas, whether it is a new building, an extension, an alteration or conversion must preserve the character of the area. The Council will use the following considerations to assess applications for conservation area consent:

- i. the siting and alignment of any building should enhance the character and appearance of the conservation area and should pay particular attention to the historic street pattern, built form and open spaces of the area;
- ii. building materials should be characteristic of the locality and sympathetic to those of nearby traditional buildings. Walls, gates and fences should be of a kind traditionally used in the locality; and
- iii. the mass, design and height of buildings should be in scale with and respect the architecture of neighbouring traditional buildings. The density and mix of uses should be in character with the area as a whole. Extensions should be visually subordinate to the buildings to which they are attached.



*Richmond Terrace,  
Blackburn, built c. 1835.  
This terrace looks elegant  
because it is of a largely  
homogeneous character,  
therefore great care is  
needed in replacing doors,  
windows and chimneys to  
maintain the continuity of  
the terrace as a whole.*

### GUIDANCE

#### **Changes of use**

The character of an area comprises both the visual appearance of the area and the mixture of uses within it. The intensification of, or introduction of some uses within a conservation area, may erode or directly affect its character. The uses most appropriate to an area will usually be those for which the buildings were originally built. It is important that new uses do not result in alterations which would harm the appearance of the area, such as garden areas being hardsurfaced for car parks or walls or established landscaping being removed.

#### **Extensions**

The acceptability of an extension will be considered in terms of its effect on the building to which it will be attached and the effect on the character of the conservation area. Where an extension is acceptable in principle, it is important that it is visually subordinate to the building to which it is attached. This can be achieved by setting the extension back, lowering its ridge and eaves line, reducing its width and using materials which match those of the original building.

#### **Demolition and development of gap sites**

The loss of buildings which contribute to the character of a conservation area directly conflicts with the aims of designation and there is therefore a presumption against their demolition. However, consent may be granted where a building is totally beyond repair, incapable of reasonably beneficial use, of an inappropriate structure or design, or where its removal or replacement will benefit the character of the area. As much of the existing building materials should be salvaged for re-use either in a redevelopment scheme or elsewhere.

Where partial demolition is allowed, works should respect the original form, including window and door details, and reclaimed material should be used wherever possible. Nevertheless, non-destructive methods such as tying and strapping are preferred.

#### **Landscape features**

Existing trees, open spaces, walls, hedges and views should be retained to help integrate a new development into its surroundings. New boundaries and surface treatments for roads, paths and courtyards should match existing materials.

When selecting new trees, shrubs and hedges choose species which are appropriate to the area to improve a development's setting. Developers are advised to engage the services of a professional landscape architect or arboriculturalist.

#### **Details**

The use of traditional local materials in new developments is essential in creating a sense of belonging. These, together with careful incorporation of details peculiar to the area such as chimney stacks, walls, decorative ridge tiles and window surrounds, help to preserve the individual local style. Where original features have survived it is preferable to retain and refurbish them if at all possible. If they are beyond repair they should be replaced "like for like". Where details have been lost, the opportunity should be taken to re-instate them.

## CONSERVATION AREAS

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*The character of the conservation areas in Blackburn is largely determined by elegant red brick Victorian buildings and matured landscaping. Such an environment needs sensitive care and maintenance and attention to detail if it is to survive.*

Reclaimed materials such as brick, stone and natural slate can help to integrate new development into its surroundings. Alternatively, modern natural materials may be suitable. Architectural and structural features should be made from appropriate traditional materials such as cast metal gutters and down pipes, lead flashings and wrought or cast iron railings.

The use of timber for external joinery such as doors and windows is preferable to plastic or aluminium. Paint is usually the correct finish for timber, staining is not a traditional finish and should therefore not be used.

It is important that stone and brickwork are pointed and repointed appropriately using the correct mix and colour of mortar. Strap pointing must be avoided as it can be damaging.

Colours for walls, roofs, windows and fascias should be carefully selected for the locality and as a rule, should be unobtrusive. Signs, lettering and external lighting should be chosen to be in sympathy with the surroundings.

### **Advertisements in conservation areas**

All outdoor advertisements affect the character of the building or neighbourhood where they are displayed. It is therefore important that the Council is able to control the appearance of advertisements, especially in more sensitive locations like conservation areas, although it is acknowledged that many designated conservation areas such as Blackburn and Darwen Town Centres are also thriving commercial areas, and businesses should reasonably be able to advertise their services.

## CONSERVATION AREAS

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In conservation areas the Council will ensure that advertisements preserve or enhance the character of buildings or streets, taking into account the size, form, colour, positioning and lettering. A separate guidance note on Outdoor Advertisements and Signs which supplement the policy criteria set out in Local Plan Policy HD7, provides more guidance on the Council's expectations.

### **Advice**

Conservation area and planning law are complicated. Always consult the Planning Service at an early stage of the proposal.



## SUPPLEMENTARY PLANNING GUIDANCE

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Further information is available from:  
Development Control Group ☎ (01254) 585638  
Forward Planning and Transportation Group ☎ (01254) 585640



### **BUILDING CONTROL**

- Once you have received Planning Approval you will then need to consider obtaining Building Regulation Approval - Can we help?
- ◆ We are happy to give informal pre-submission advice.
  - ◆ We will deal with your plans quickly.
  - ◆ Our approach is flexible and can be tailored to meet your particular requirements
  - ◆ We will provide a same day inspection service.

**For more information telephone (01254) 585747**