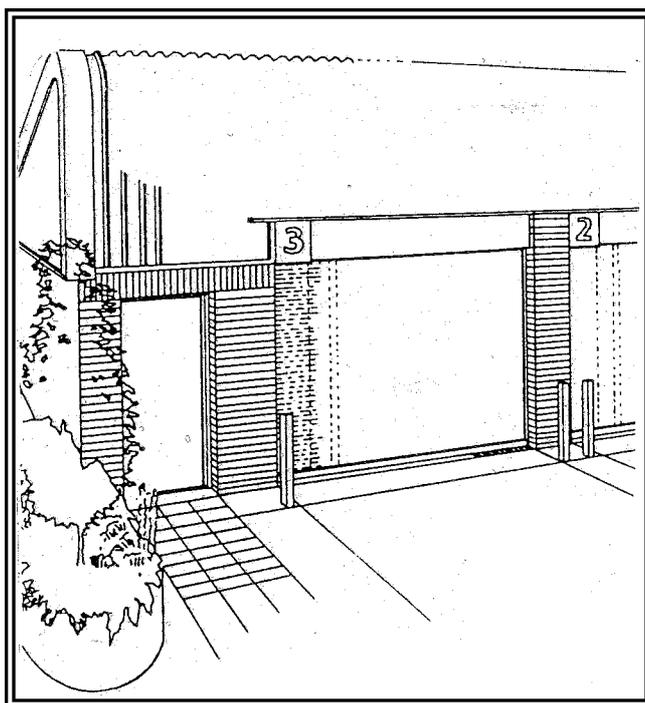




BLACKBURN
with
DARWEN
BOROUGH COUNCIL

SUPPLEMENTARY PLANNING GUIDANCE

Industrial and Warehousing Buildings



**BLACKBURN WITH DARWEN
BOROUGH LOCAL PLAN**

SUPPLEMENTARY PLANNING GUIDANCE

This is one of a series of supplementary planning guidance notes prepared by the Council to raise awareness of good design and to improve the quality of new development.

The following titles are available from the Council's Technical Services Department at Blackburn and Darwen Town Halls.

Residential and Other Related Uses

1. New Residential Development
2. Extensions for Detached and Semi-detached Houses
3. Extensions for Terraced Houses
4. Community and Other Uses within Residential Areas
5. Residential Institutions

Conservation and Design

6. Listed Buildings
7. Conservation Areas
8. Outdoor Advertisements and Signs
9. Shopfront Design and Security
10. Industrial and Warehousing Buildings

Rural Areas

11. Agricultural Buildings
12. The Conversion of Buildings in the Countryside
13. Village Appraisals

Natural Environment

14. Landscaping and Wildlife Habitat Creation
15. Species Protection

INDUSTRIAL AND WAREHOUSING BUILDINGS

The appearance of the Borough's industrial areas is very important to the Council. Companies also benefit from high quality buildings and landscaping which raise their profile and improve their image. Fortunately, the design of industrial developments in the Borough has improved in recent years. Likewise, the quality and importance of landscaping has also made an impact and is appreciated by both companies and their clients.

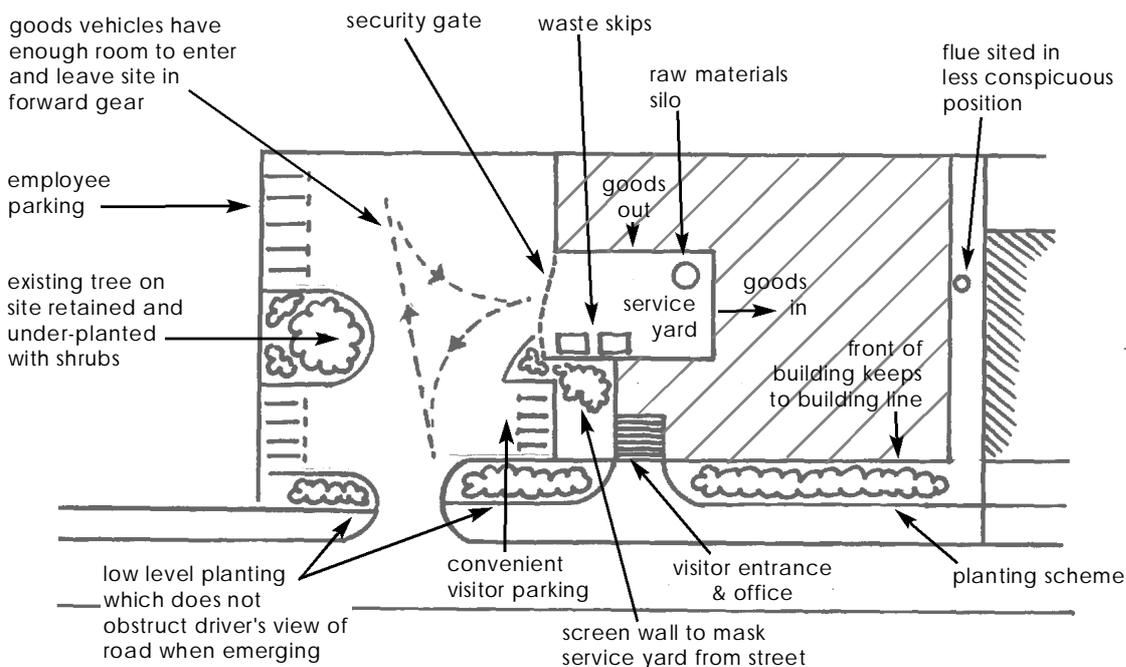
The Council provides this guidance note for companies wishing to erect industrial and similar buildings within the Borough. It gives a good indication of the factors which the Council, as local planning authority, will take into account when deciding a planning application.

Local Plan Policy HD1 establishes broad design principles to ensure that new buildings achieve the highest possible standard of design and make a positive contribution to the Borough's environment.

Location and layout

The first consideration when planning a new building is to look at the surroundings in which it will be set. Existing buildings on adjoining sites, the lie of the land, trees on or around the site and other features need to be taken into account. Where existing development hems the site in closely, a new building will be expected to reflect the scale and character of the surrounding structures. If the site is in a predominantly residential area, it may be appropriate for the design to respect the architecture of the houses in order to maintain the quality of the street scene.

In positioning a building on the site, there are many factors that have to be incorporated. The developer needs to consider how the site will operate, whether outside storage is going to be required or whether there will be any external plant or machinery.



Some of the factors to be considered in planning a site layout.

INDUSTRIAL AND WAREHOUSING BUILDINGS

The three main factors the Council will look at are the adequacy of car parking arrangements, the room for manoeuvring goods vehicles clear of the highway and whether a landscaping scheme will be required. Careful design can help to screen untidy outside storage areas.

For parking and off-street servicing the Council has adopted the standards produced by Lancashire County Council. The Planning Service will always advise on the required standards if necessary.

Because of the car parking, the goods vehicle manoeuvring area and landscaping requirements, it will often be the case that the building itself occupies no more than half the site area.

Car parking standards

The following table sets out the scale of provision that is expected from new developments. Applicants are advised to consult the Planning Service for information about requirements in individual cases. Car parking levels are expressed as a maximum, whereas cycle parking levels are expressed as a minimum.

NON-OPERATIONAL PARKING

B.1

Industry suitable to a primarily residential area

- 1 car space per 50 square metres of gross floor space
- 1 cycle space per 500 square metres of gross floor space

B.2

General industry

- 1 car space per 50 square metres of gross floor space
- 1 cycle space per 500 square metres of gross floor space

B.8

Storage or distribution

- 1 car space per 200 square metres of gross floor space
- 1 cycle space per 2000 square metres of gross floor space

Mobility standard parking

10% of all car spaces should be provided to 'mobility standard' (minimum width 3.6 metres).

Motor cycle parking

On large developments where 25 or more car spaces would be provided, 1 motor cycle space should be provided for every 25 car spaces.

OPERATIONAL PARKING

On-site space shall not be provided in excess of that required to accommodate the number and size of vehicles likely to serve the development at any one time to manoeuvre and stand for loading and unloading. Reduced operational space will be encouraged where:

- a. opportunities are available for shared use or parking space; and/or
- b. opportunities are available for on-street servicing provided that:
 - i. it would not cause inconvenience to other users of the site or neighbouring property;
 - ii. it would not cause local environmental harm;
 - iii. it would not have a significant adverse effect on the flow of traffic or road safety.

Provision of operational parking shall be subject to inclusion of appropriate spaces for cycles, motorcycles and the needs of people with a mobility disadvantage, as set out in the Car Parking Standards for Lancashire published in 1997.

INDUSTRIAL AND WAREHOUSING BUILDINGS

Materials

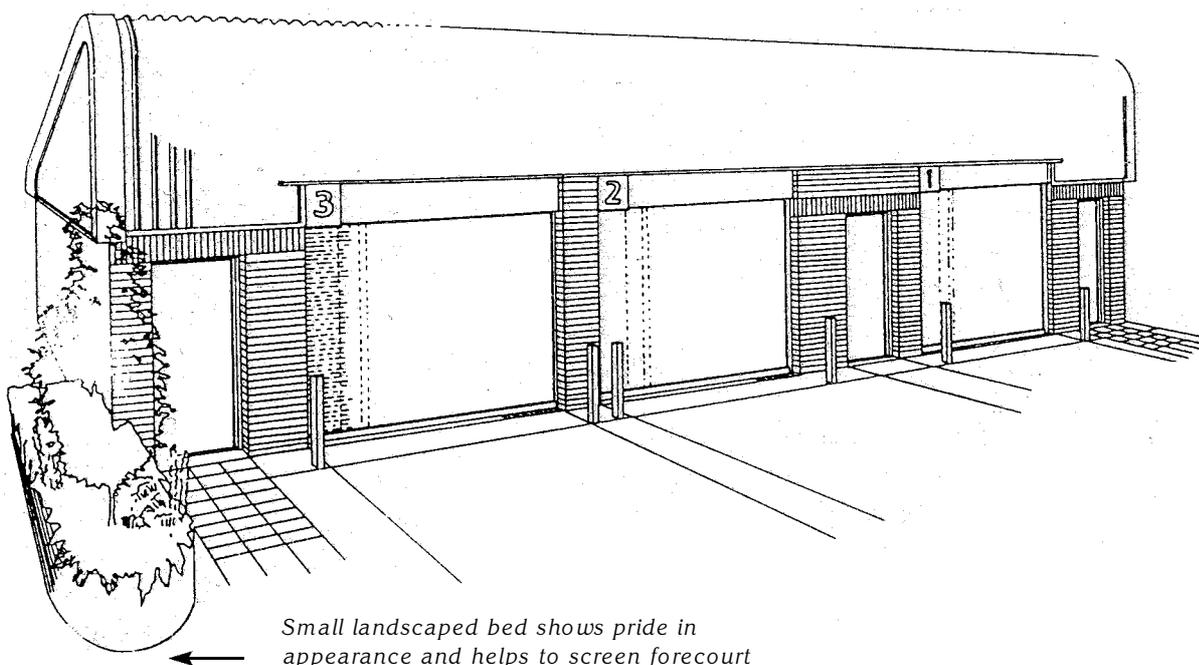
In most situations, the treatment of the front elevation of a building is the main concern of the planning authority. There will, however, be some occasions when more than one elevation is important, for instance, on a street corner or where a site backs onto the canal. There is less concern for those parts of a building which cannot be seen from public areas.

The roof needs to be considered at the same time as the elevations of the building. The materials, shape, height and colour are all important. In many modern buildings the roof curves downwards to become the upper part of the wall. The Council will look at how a roof relates to its surroundings. Because of the hilly nature of the Borough, roofs of many buildings can be seen from unexpected viewpoints both in the valley bottoms and on the hill sides.

The choice of materials for a building should take into account materials used in other buildings and should reflect or complement them.

For small structures the use of one main facing material may be acceptable. For large structures however, the building elevation should be broken up by the use of different materials. Brick is a traditional and versatile material often used to good effect but steel cladding, glazing, curtain walling, concrete and stone are often acceptable.

New buildings or extensions to industry or warehouses in predominantly residential areas, will be expected to be designed to be sympathetic to residential amenity. Industrial buildings do not have to be dark coloured, oppressive steel clad monoliths. Modern materials can provide attractive, eye-catching buildings that attract custom and provide a pleasant workplace, whilst still being cost effective.



Simple, neat modern industrial units, given character by use of contrasting facing materials.

Steel or aluminium profiled sheets are often used and these are available in a wide range of colours. Combinations of two or more can create quite dramatic effects for little or no extra cost.

Also consider varying the fixing alignment. Horizontal sheeting will make a squat building look longer, whereas vertical sheeting can have the opposite effect.

Goods entrances or roller shutters can be brightened up with large colourful graphics, either continuing the theme of the main cladding colours, or large numerals indicating address or gate numbers.

Try using sheeting on a diagonal for a special effect at gable ends.

In rural areas, colours should be more subdued with darker tones to match the landscape. The design and materials should match the situation.

In most situations, signage and advertising on the building or on the road frontage will require separate consent under the Advertisement Regulations. Try to design signs on the building as an integral part of the frontage.

A brick base to the walls with cladding above is often used to help break up large surfaces and can provide additional security.

Plant and equipment

With industrial operations in particular, extra structures are often found to be necessary as the buildings are fitted out. The most common ones are chimneys, flues, external equipment housing, silos, hoppers and lighting. If considered early enough they can be taken into account in the design and positioning of the building. The unrelated late addition of these items can destroy the symmetry of a design or in other ways mar a well thought out building or site layout. Often the materials and shapes of elements of plant and equipment are totally out of keeping with the rest of the site. A flue for instance, may be constructed of reflective stainless steel, project well above the roof line and require support by wire stays.

The siting of all additions to the building needs careful thought. Extra screen walls or turning a building through 90 degrees are two solutions which may resolve the problem of dealing with extra structures.

Landscaping

The purpose of landscaping is to help to integrate a building into its surroundings. The landscaping of the scheme should not therefore be left as an afterthought. Hard landscaping for roads, paths and car parking should also be considered at the same time. An attractive landscape scheme will complement the building and the business. Plants and trees can also be used to security advantage; prickly shrubs and thorn hedges will keep visitors on the intended path.

Avoid a sea of tarmac on the forecourt by dividing areas up with different materials. Brick pavements might be used to define a pedestrian route, or outline parking spaces within the yard.

Landscaping can also be used to mask outside storage or working areas and external plant. Schemes can often be given a good start by retaining and protecting established trees already growing on the site.

Developers should consult Local Plan Policy HD9 for the policy criteria on new trees and landscaping on development sites. A separate guidance note “The Natural Environment 1 - Landscaping and Wildlife Habitat Creation” provides advice on landscaping of development schemes.

Security

The Council recognises the need for firms to provide security for their premises. This can take many forms but the erection of a security fence around the edge of the whole site should be a last resort.

The materials used in the construction of the building, the design of the car park and the use of landscaped earth mounds and appropriate planting can themselves form part of a total security system. For instance, metal sheeting, particularly alloy, is easily damaged by vehicles or fork-lift trucks and can be easily cut open with power tools. Bollards or steel posts are often used as guides when reversing into the opening or to prevent ram raiding. These can also be picked out in contrasting colours to carry the overall design of the building through to the details. Brickwork up to a height of at least 2 metres will help prevent this damage or illegal entry. Once again, the choice of brick, colour and bonding can help to achieve a well designed attractive building.

Care should be taken, however, not to obscure natural surveillance - tall bushes close to a building provide an ideal place to hide. Consider also that trees grow and may mask artificial lighting.

The visual impact of security fencing can be reduced by using black plastic coated chain link fencing and dark coloured, slim support posts. Fencing can be backed with trees and shrubs to soften the stark appearance. Banking or ditching can also provide good security with a natural look.

The risk of ram raiding can also be effectively reduced using permanent, raised plant containers.

Where the use of security fencing is necessary, consider whether the entire site really needs defending. Perhaps only the yard area or the land behind the building line require this degree of security.

There are a variety of designs of fencing available. Whilst some are acceptable for the frontage of a site, others are not. The planning authority will consider the impact of the proposed type of fencing on the street scene. Some styles, for instance, give the appearance of a solid structure when viewed at an angle from along the street.

INDUSTRIAL AND WAREHOUSING BUILDINGS

Fencing that is not plastic coated will be subject to a condition that it is painted. It will be expected that in most situations a security fence on the road frontage or other important elevations will be set back from the site boundary sufficiently to allow for planting to take place to mask its visual impact. Landscaping behind the fence may be appropriate.

Help and advice

The Planning Service will always give advice to developers before a formal planning application is submitted. This can save time in dealing with the application later and may save expense on working up designs which are subsequently abandoned.

SUPPLEMENTARY PLANNING GUIDANCE

Further information is available from:
Development Control Group ☎ (01254) 585638
Forward Planning and Transportation Group ☎ (01254) 585356



BUILDING CONTROL

- Once you have received Planning Approval you will then need to consider obtaining Building Regulation Approval - Can we help?
- ◆ We are happy to give informal pre-submission advice.
 - ◆ We will deal with your plans quickly.
 - ◆ Our approach is flexible and can be tailored to meet your particular requirements
 - ◆ We will provide a same day inspection service.

For more information telephone (01254) 585747